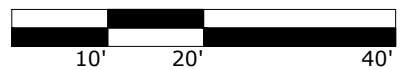


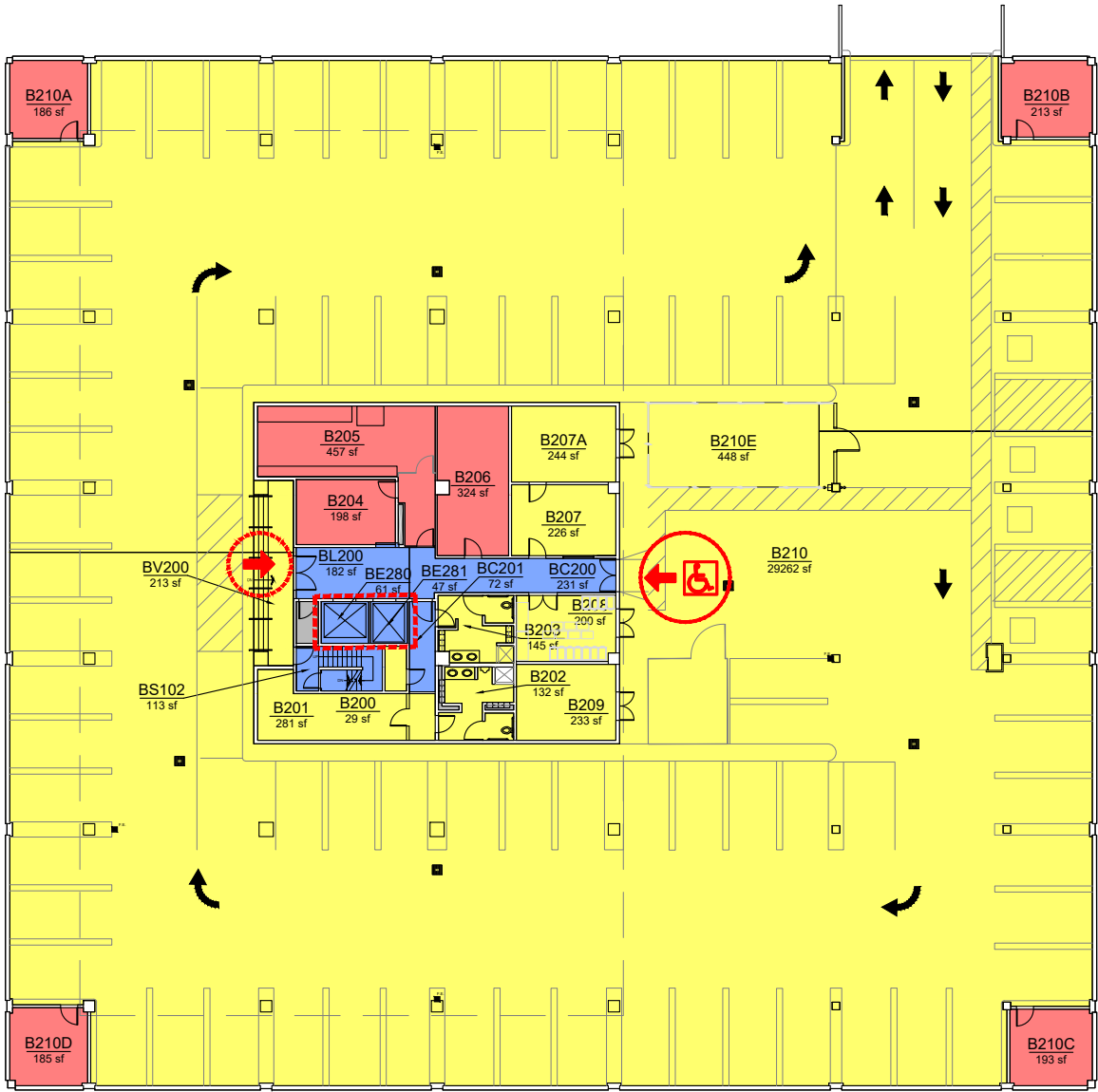
Scale
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



SECOND FLOOR PLAN
Richard & Maurine Neuberger Center
1600 SW 4th Avenue

DRAWN BY:
TJK
DATE:
03/2023

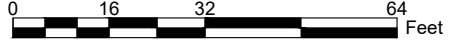
087_A2



STANDARD LAYER REPORT		
	AREA	QTY
 Circulation	919	7
 Mechanical Space	1,756	7
 Net Assignable Space	31,200	10
 Vertical Penetrations	45	4
TOTAL:	33,920	28
Floor Gross:	38,594	




If you need assistance, or an accommodation to access an office or classroom please contact:
 Disability Resource Center at (503) 725-4150
 Human Resources at (503) 725-4926

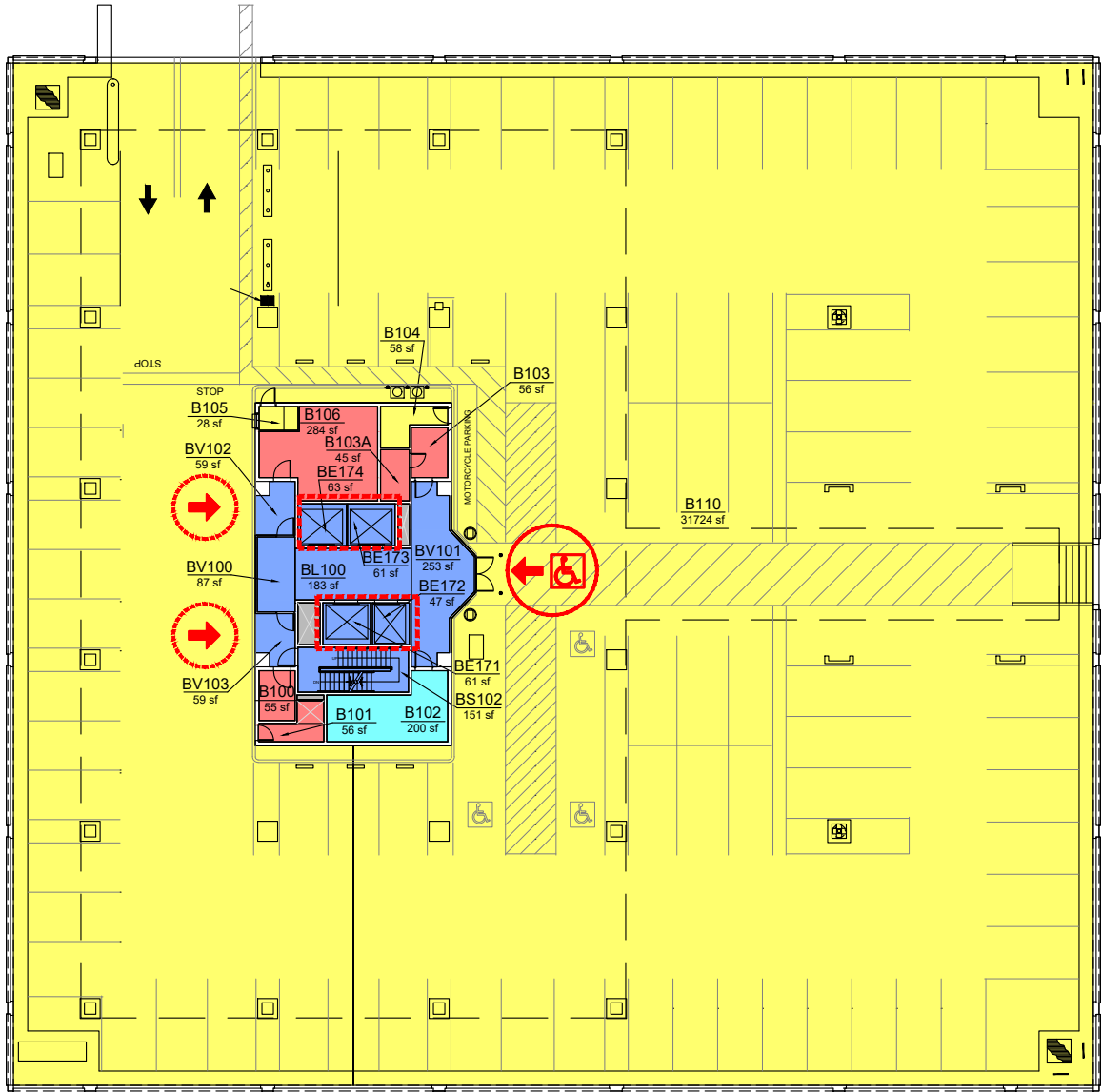
STANDARD SPACE REPORT








RICHARD & MAURINE NEUBERGER CENTER
 Lower Basement Floor Plan B2
 1515 SW 5th Ave Portland, Oregon 97201
 Print Date:
 Last Modified Date: 12/2018



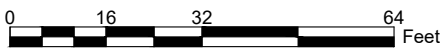
-  ELEVATOR ACCESS
-  WHEELCHAIR ACCESS
-  BUILDING ACCESS - NOT WHEELCHAIR ACCESSIBLE



STANDARD LAYER REPORT			
		AREA	QTY
	Building Services	200	1
	Circulation	1,024	10
	Mechanical Space	496	5
	Net Assignable Space	31,810	3
	Vertical Penetrations	47	3
TOTAL:		33,577	22
Floor Gross:		38,947	

If you need assistance, or an accommodation to access an office or classroom please contact:
 Disability Resource Center at (503) 725-4150
 Human Resources at (503) 725-4926

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

Upper Basement Floor Plan B1
 1515 SW 5th Ave Portland, Oregon 97201
 Print Date:
 Last Modified Date: 12/2018



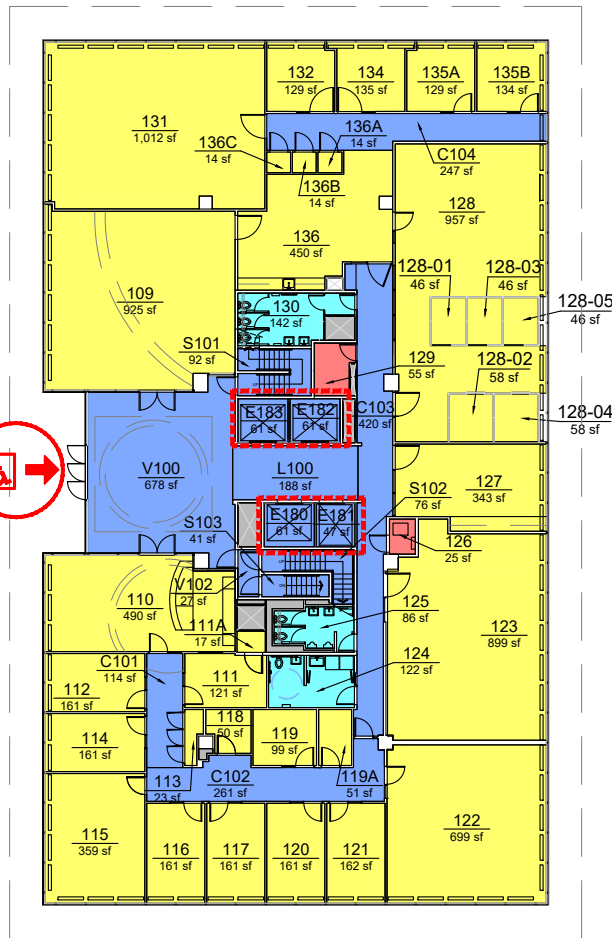
ELEVATOR ACCESS








WHEELCHAIR ACCESS



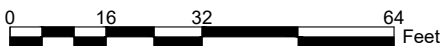
BUILDING ACCESS - NOT WHEELCHAIR ACCESSIBLE



STANDARD LAYER REPORT			
		AREA	QTY
	Building Services	350	3
	Circulation	2,374	14
	Mechanical Space	80	2
	Net Assignable Space	8,285	33
	Vertical Penetrations	121	9
	TOTAL:	11,210	61
	Floor Gross:	11,974	

If you need assistance, or an accommodation to access an office or classroom please contact:
 Disability Resource Center at (503) 725-4150
 Human Resources at (503) 725-4926

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

First Floor Plan

1515 SW 5th Ave Portland, Oregon 97201

Print Date:

Last Modified Date: 12/2018



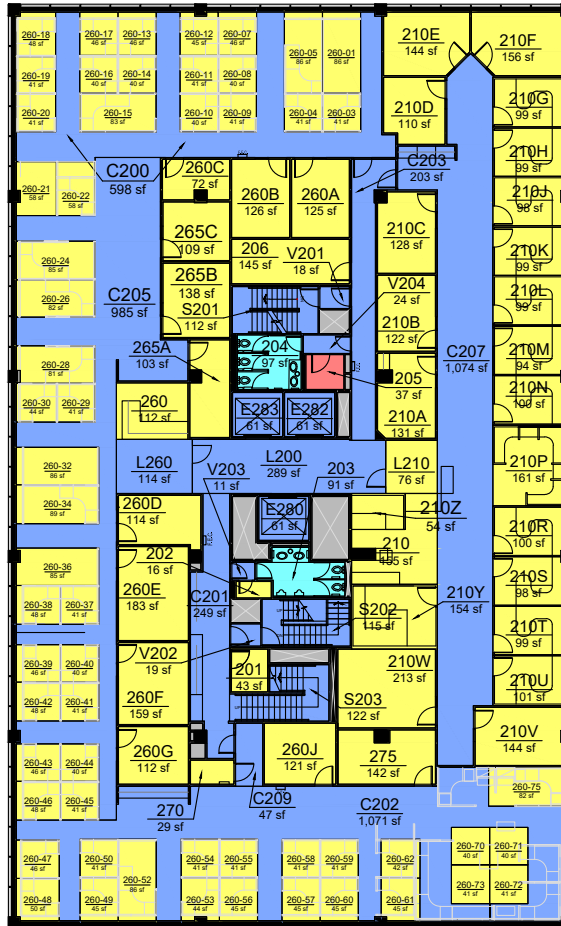
ELEVATOR ACCESS








WHEELCHAIR ACCESS

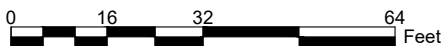


BUILDING ACCESS - NOT WHEELCHAIR ACCESSIBLE



STANDARD LAYER REPORT		
	AREA	QTY
	Building Services	188 2
	Circulation	5,234 19
	Mechanical Space	37 1
	Net Assignable Space	7,665 99
	Vertical Penetrations	210 15
TOTAL:		13,334 136
Floor Gross:		14,405

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

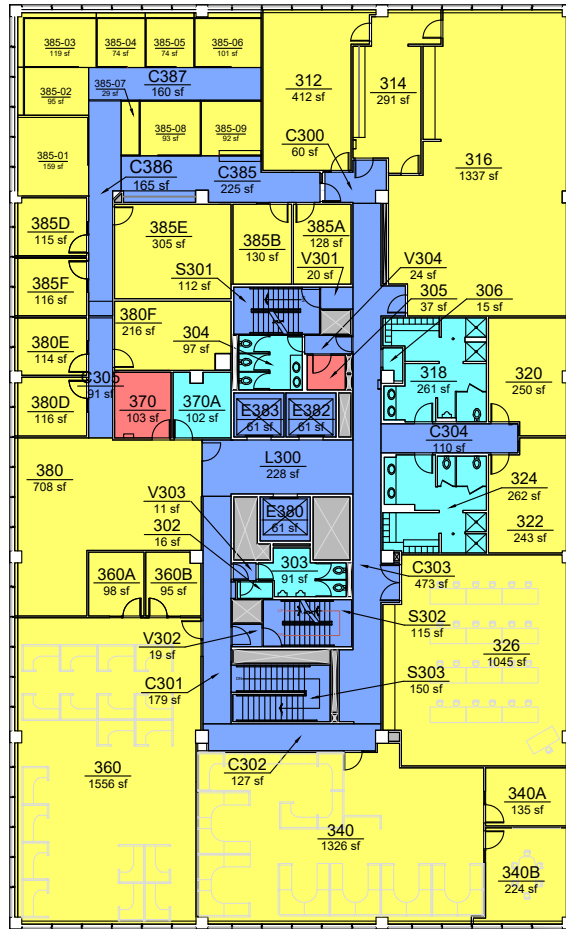
Second Floor Plan

1515 SW 5th Ave Portland, Oregon 97201






Print Date:

Last Modified Date: 12/2018

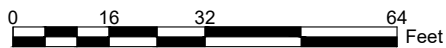




STANDARD LAYER REPORT

	AREA	QTY
 Building Services	844	7
 Circulation	2,452	20
 Mechanical Space	140	2
 Net Assignable Space	9,796	30
 Vertical Penetrations	231	15
TOTAL:	13,463	74
Floor Gross:	14,405	

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

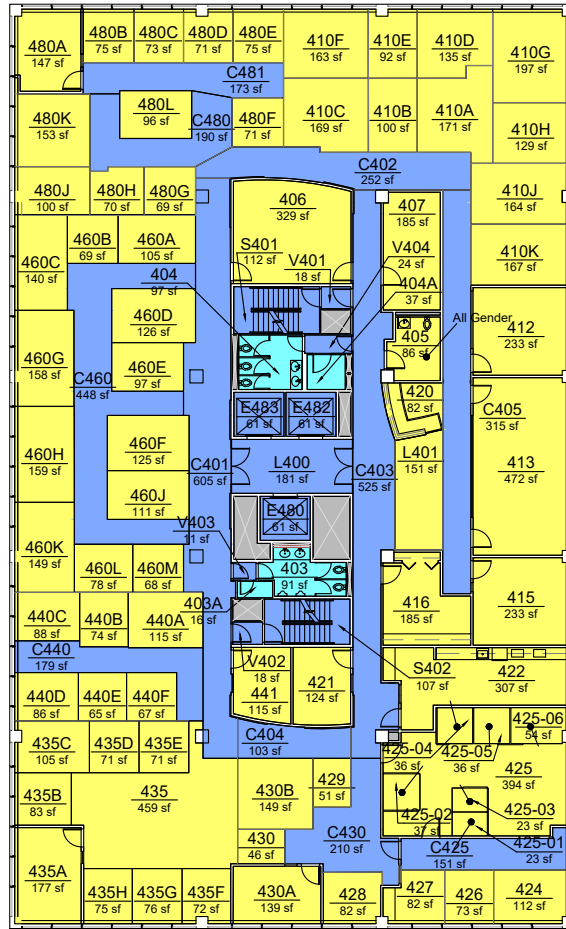
Third Floor Plan





1600 SW 4th Ave Portland, Oregon 97201

Print Date:

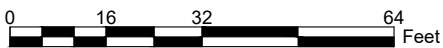
Last Modified Date: 12/2018





STANDARD LAYER REPORT			
		AREA	QTY
	Building Services	241	4
	Circulation	3,805	21
	Net Assignable Space	9,395	75
	Vertical Penetrations	186	12
TOTAL:		13,627	112
Floor Gross:		14,405	

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

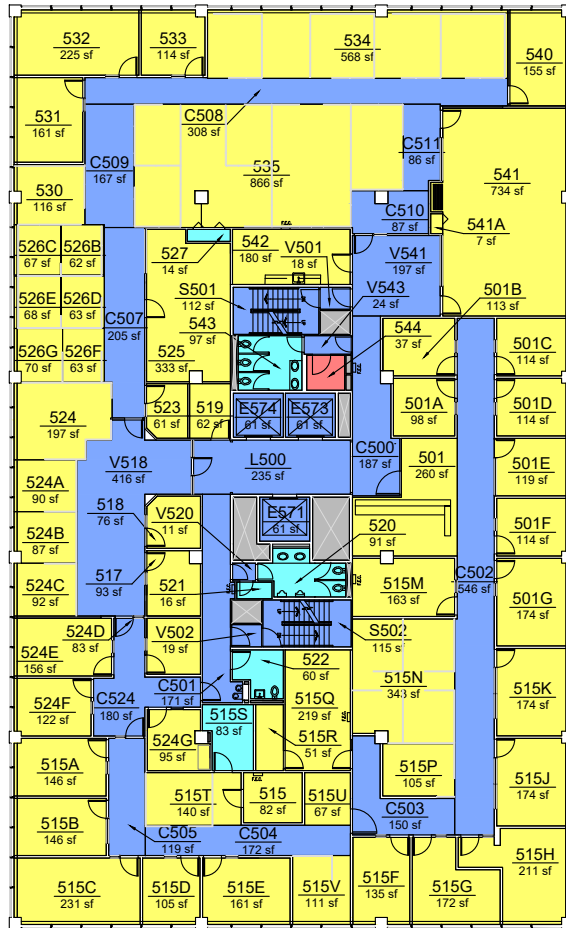
Fourth Floor Plan






1515 SW 5th Ave Portland, Oregon 97201

Print Date:

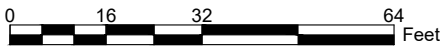
Last Modified Date: 05/2019





STANDARD LAYER REPORT			
		AREA	QTY
	Building Services	361	6
	Circulation	3,708	24
	Mechanical Space	37	1
	Net Assignable Space	9,108	56
	Vertical Penetrations	183	13
TOTAL:		13,397	100
Floor Gross:		14,405	

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

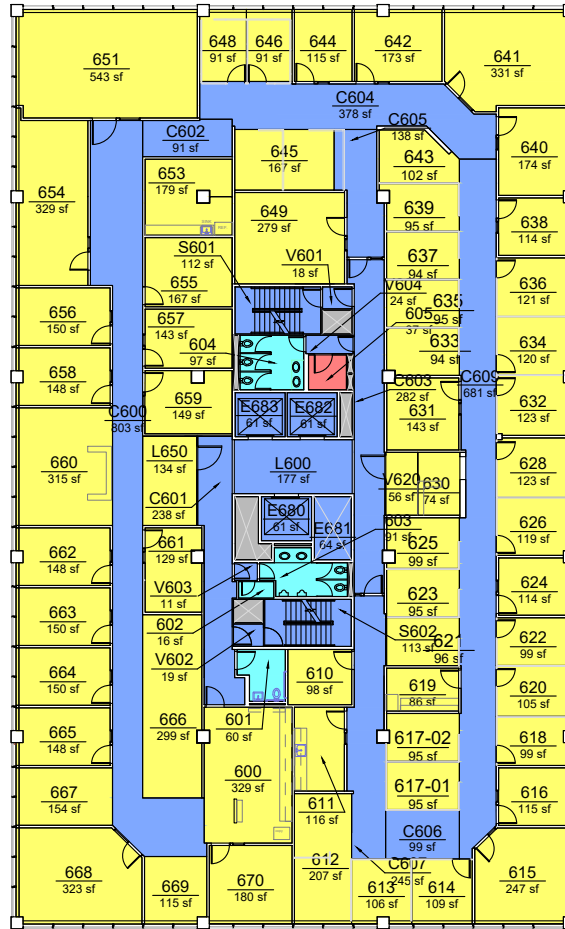
Fifth Floor Plan

1515 SW 5th Ave Portland, Oregon 97201






Print Date:

Last Modified Date: 12/2018

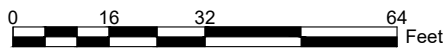




STANDARD LAYER REPORT

	AREA	QTY
 Building Services	264	4
 Circulation	3,676	20
 Mechanical Space	37	1
 Net Assignable Space	9,257	60
 Vertical Penetrations	119	11
TOTAL:	13,353	96
Floor Gross:	14,405	

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

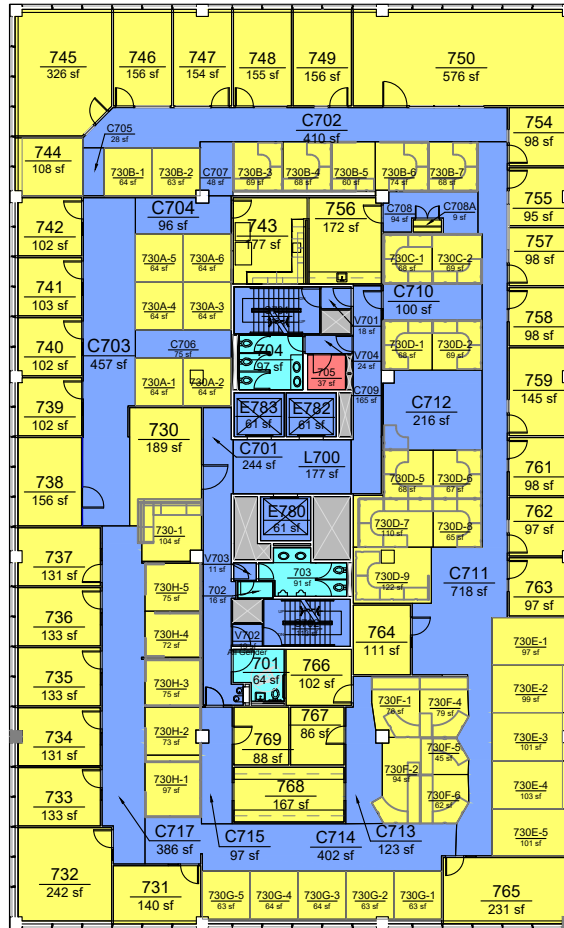
Sixth Floor Plan






1600 SW 4th Ave Portland, Oregon 97201

Print Date:

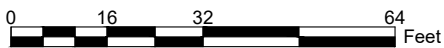
Last Modified Date: 12/2018





STANDARD LAYER REPORT		
	AREA	QTY
	Building Services	268 4
	Circulation	4,316 26
	Mechanical Space	37 1
	Net Assignable Space	8,623 80
	Vertical Penetrations	172 8
	TOTAL:	13,416 119
	Floor Gross:	14,405

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

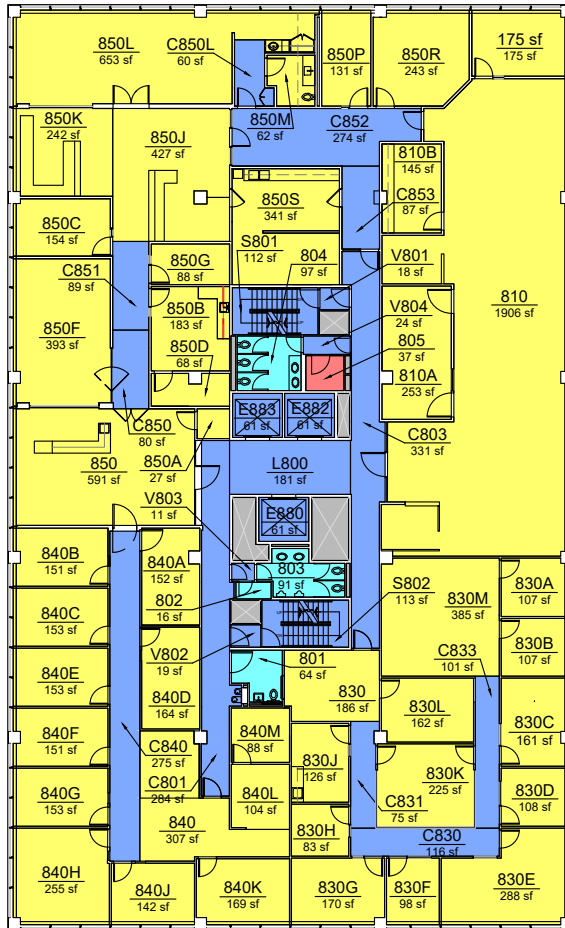
Seventh Floor Plan

1515 SW 5th Ave Portland, Oregon 97201






Print Date:

Last Modified Date: 12/2018

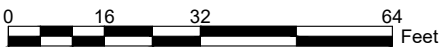




STANDARD LAYER REPORT

	AREA	QTY
 Building Services	268	4
 Circulation	2,433	21
 Mechanical Space	37	1
 Net Assignable Space	10,430	44
 Vertical Penetrations	185	13
TOTAL:	13,353	83
Floor Gross:	14,405	

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

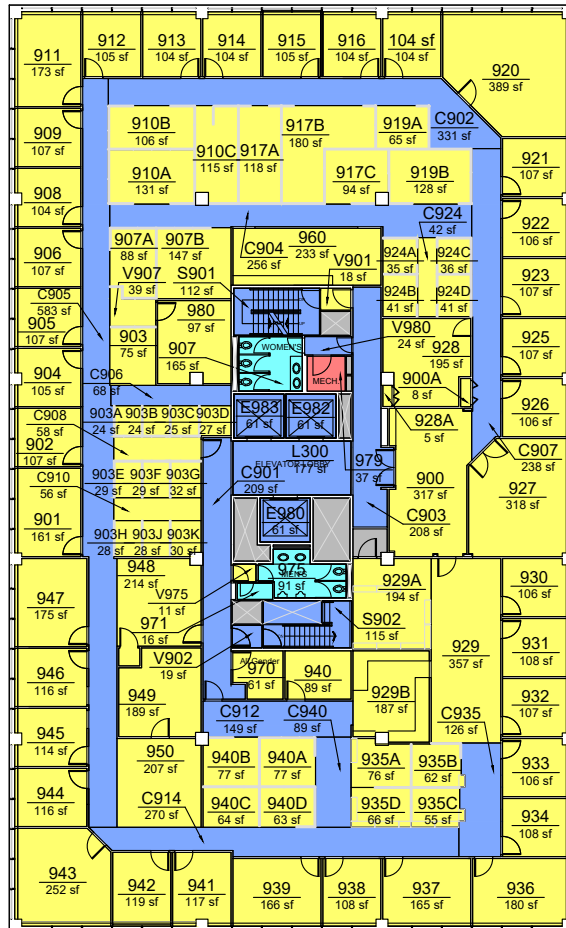
Eighth Floor Plan






1515 SW 5th Ave Portland, Oregon 97201

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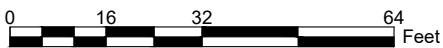
Last Modified Date: 12/2018





STANDARD LAYER REPORT		
	AREA	QTY
	Building Services	204 3
	Circulation	3,157 19
	Mechanical Space	37 1
	Net Assignable Space	9,861 90
	Vertical Penetrations	198 10
	TOTAL:	13,457 123
	Floor Gross:	14,517

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

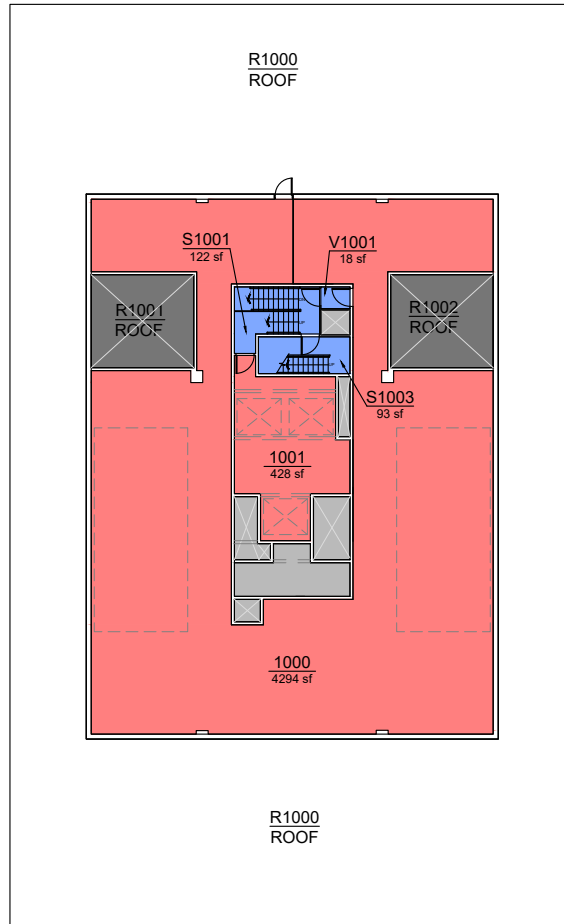
Ninth Floor Plan





1515 SW 5th Ave Portland, Oregon 97201

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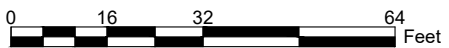
Last Modified Date: 12/2018





STANDARD LAYER REPORT			
		AREA	QTY
	Circulation	233	3
	Mechanical Space	4,722	2
	Open To Below	529	2
	Vertical Penetrations	293	6
TOTAL:		5,777	13
Floor Gross:		5,708	

STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

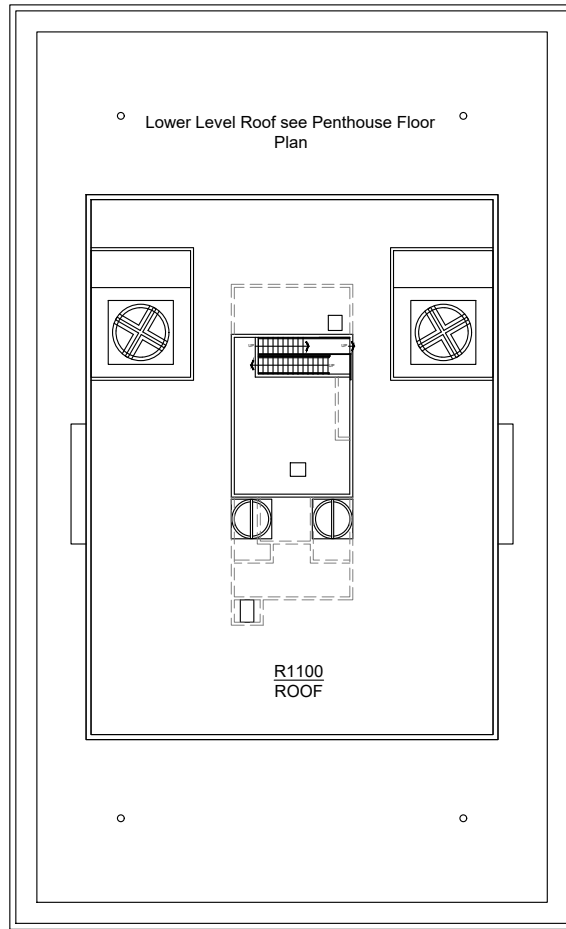
Penthouse Floor Plan

1515 SW 5th Ave Portland, Oregon 97201

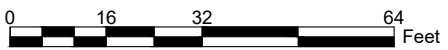
Print Date:

Last Modified Date: 12/2018





STANDARD SPACE REPORT



RICHARD & MAURINE NEUBERGER CENTER

Roof Plan

1515 SW 5th Ave Portland, Oregon 97201

Print Date:

Last Modified Date: 2/2015

